

Real Property Records

Date last updated: Friday, April 30, 2004

SDMS Document ID



1051764

➤ Real Property Search

If you have a question about the value, ownership, or characteristics of this property, or any other property in Denver, please call the Assessor at 720-913-4162.

[Link to property tax information for this property](#)

[Link to property sales information for this neighborhood](#)

[Link to property sales information for all Denver neighborhoods](#)

PROPERTY INFORMATION

Property Type: Residential

Parcel: 0223114007000

Name and Address Information

Legal Description

HOLFORD, CECILE V

L 13 & S 1/2 OF L 12 EXC REAR

4644 HIGH ST

5FT TO CITY BLK 14 ELYRIA

DENVER, CO 80216

RESIDENTIAL

Property Address:

Tax District

4644 HIGH ST

DENV

Assessment Information

	Actual	Assessed	Exempt	Taxable
Current Year				
Land	16500	1310		
Improvements	91800	7310		
Total	108300	8620	0	8620
Prior Year				
Land	16500	1310		
Improvements	91800	7310		
Total	108300	8620	0	8620

Style: One Story

Reception No.:

Year Built: 1886

Recording Date: / /

Building Sqr. Foot: 750

Document Type:

Bedrooms: 1

Sale Price:

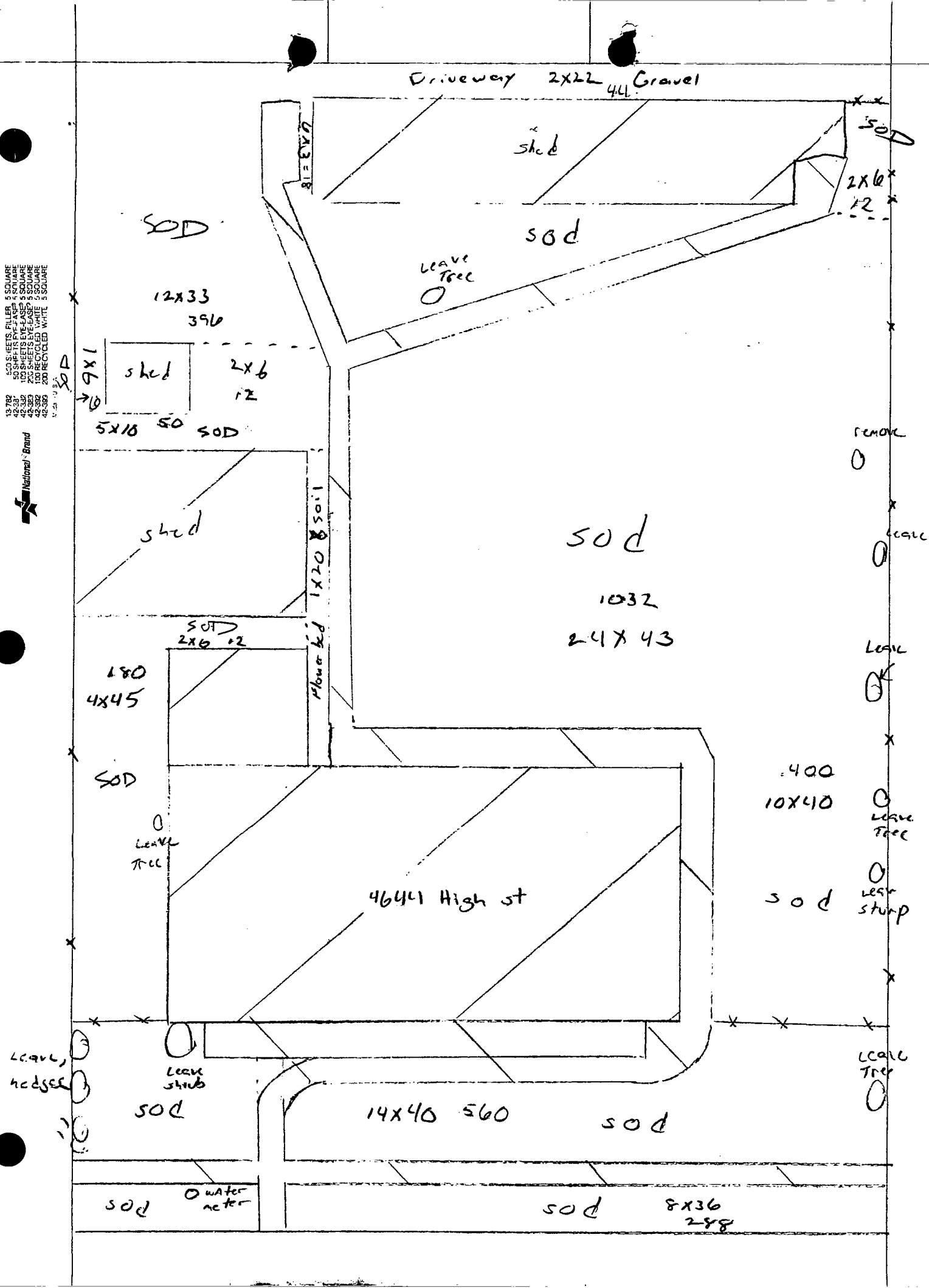
Baths Full/Half: 1/0

Mill Levy: 64.162

Basement/Finished: 0/0

Lot Size: 4,255

Zoning: R2



Property Access Checklist

Property ID: <u>2335</u>	<input type="checkbox"/> WORK STARTED ON: <u> </u> / <u> </u> / <u> </u>
Property Address: <u>7644 High St</u>	<input type="checkbox"/> WORK COMPLETED ON: <u> </u> / <u> </u> / <u> </u>

Property Owner: <u>Cecile Helford</u>	Property Renter:
Mailing Address: <u>4644 High St</u>	Home Phone:
	Fax:
	Cell/Pager:
Home Phone: <u>303 296-4450</u>	Additional Information:
Fax:	
Cell/Pager:	

<input checked="" type="checkbox"/> Notification Letter	Sent: <u>4/10/104</u>	By: <u>A. James</u>
<input checked="" type="checkbox"/> Access Agreement	Signed: <u>4/13/104</u>	By: <u>Cecile Helford</u>
<input checked="" type="checkbox"/> Restoration Agreement	Signed: <u>5/15/104</u>	By:
<input type="checkbox"/> Topsoil Sampling (if applicable)	<u> </u> / <u> </u> / <u> </u>	By:
<input type="checkbox"/> Disposal Sampling (if applicable)	<u> </u> / <u> </u> / <u> </u>	By:
<input type="checkbox"/> Garden Sampling (if applicable)	<u> </u> / <u> </u> / <u> </u>	By:
<input type="checkbox"/> Utility Clearance	Called: <u> </u> / <u> </u> / <u> </u>	By:
<input checked="" type="checkbox"/> Video/Photos (Before)	On: <u>5/15/104</u>	By: <u>T Myers</u>
<input type="checkbox"/> Video/Photos (During)	On: <u> </u> / <u> </u> / <u> </u>	By:
<input type="checkbox"/> Video/Photos (After)	On: <u> </u> / <u> </u> / <u> </u>	By:
<input type="checkbox"/> Video/Photos (30-Day)	On: <u> </u> / <u> </u> / <u> </u>	By:
<input type="checkbox"/> Property Completion Agreement	Signed: <u> </u> / <u> </u> / <u> </u>	By:
<input type="checkbox"/> Final Report	Issued: <u> </u> / <u> </u> / <u> </u>	By:

Air Monitoring (as applicable)

<input type="checkbox"/> Community <input type="checkbox"/> Crew	On: <u> </u> / <u> </u> / <u> </u>	By:
Results:		
<input type="checkbox"/> Community <input type="checkbox"/> Crew	On: <u> </u> / <u> </u> / <u> </u>	By:
Results:		
<input type="checkbox"/> Community <input type="checkbox"/> Crew	On: <u> </u> / <u> </u> / <u> </u>	By:
Results:		

Restoration Agreement

The purpose of this agreement is to provide a mutual agreement as to conditions of property prior to remediation activities. This will also serve as decontamination for the purpose of assuring that restoration activities are completed to the satisfaction of the property owner and the United States Environmental Protection Agency (EPA).

Property ID:	2335
Property Address:	4644 High St
Owner:	Cecile Holford
Phone:	303 296-4450

On the attached diagram(s) indicate area(s) to excavated and depth of excavation, location of all known utilities, subsurface features, surface structures and landscaping features, access location(s) to be used by contractor, and the direction of North. Indicate distances, depths, material types, etc. Indicate digital photos by referencing the photo-log number with an arrow indicating direction of view.

Items To Be Removed By Owner Before Start Of Remediation: (Use additional sheets as necessary)

The removal, storage, disposal, and/or return of these items is the Owner's responsibility.

Item:	
Item:	N/A
Item:	
Item:	
Item:	
Item:	
Item:	
Item:	



Project Resources Inc.

Items To Be Removed By Contractor During Remediation And Not Replaced
(Use additional sheets as necessary)

Item:
Item: N/A
Item:
Item:
Item:
Item:
Item:
Item:
Item:
Item:
Item:
Item:
Item:
Item:



Project Resources Inc.

Items To Be Removed By Contractor During Remediation And Replaced
(Use additional sheets as necessary)

Item:	
Item:	Any fence taken down
Item:	
Item:	
Item:	
Item:	
Item:	
Item:	
Item:	
Item:	
Item:	
Item:	
Item:	
Item:	
Item:	

Landscape Inventory
(Use additional sheets as necessary)

Item	Quantity	Unit	Description/Explanation
Total Area Of Property To Be Excavated	3030	Square Feet	
Number of trees > 2 inch trunk diameter	9		
Number of trees < 2 inch trunk diameter	N/A		
Number of Sprinkler Zones, Control Valves, Timers, Heads, etc. Attach a sketch of the sprinkler layout.	N/A		Zones: <u>N/A</u> Heads: <u>N/A</u> Control Valves: <u>N/A</u>
Number of and total size of all gardens / flower beds. Attach a sketch of relative sizes and locations.	# Of Beds: <u>1</u> # Of Gardens: <u>N/A</u>		Ft ² Of Beds: <u>20 ft²</u> Ft ² Of Gardens: <u>N/A</u>



Project Resources Inc.

Item	Quantity	Unit	Description/Explanation
Agreed upon value of plant materials <u>not to be replaced</u> by contractor. Note: this value will be used to issue a plant voucher to the property owner.	Total # Of Beds: <u>1</u>	\$	Total Ft ² Of Beds To Be Replaced With Certificate: <u>20 ft²</u> <u>1 TREE</u>
Agreed upon list of plant materials that will be replaced by contractor. Be very specific and detailed. Include a sketch of where each plant will be placed by the contractor.	<u>N/A</u>	Each	Only Use For Plants That Are Being Saved and Re-planted
Agreed upon area of property to be replaced with grass sod. Include a sketch of the area(s) to be replaced with grass sod.	<u>2298</u> <u>2966</u>	SF	Total Ft ² Of Sod To Be Laid: <u>2298</u>
Area of City or County property to be landscaped per their requirements. Include a sketch of the area (s)	Total Ft ² : <u>288</u>	SF	Sod: <u>288</u> Brown Mulch: <u>N/A</u> Red Mulch: <u>N/A</u>
Agreed upon area of property to be replaced with mulch.	Total Ft ² Of Mulch: <u>N/A</u>	SF	Red: <u>N/A</u> Brown: <u>N/A</u>



Project Resources Inc.

Item	Quantity	Unit	Description/Explanation
Agreed upon area to be replaced rock.	Total Ft ² Of Rock: <u>0</u>	SF	Large: <u>272</u> Medium: <u>N/A</u> Small (pea gravel): <u>N/A</u> Driveway Gravel: <u>440</u>
Agreed upon area to be replaced with no groundcover.	Total Ft ² With No Groundcover: <u>20</u>		

Additional Comments / Instructions:



Project Resources Inc.

Additional Comments / Instructions Continued:

☐ Check the box if Owner does not want PRI to document interior foundation walls and possible pre-existing damage. By checking this box PRI is not responsible for any damage done to the interior of house, including foundation cracks or fissures.

☒ I agree

☐ I do not agree

☒ I agree

☐ I do not agree

Cedric Halford 5/15/04
Owner's Signature Date

[Signature] 5/15/04
Contractor's Signature Date



**U.S. Environmental Protection Agency
Vasquez Boulevard I/70 Superfund Site
Replacement Certificate**



**US Army Corps
of Engineers**
Omaha District

Property Owner

Cecile Holford

Property Address

4644 High Street

Property Identification Number

2335

Material Removed	Quantity	Unit Price	Replacement Value
Flower bed area (square feet)	20	\$ 2.50	\$50.00
Trees	1	\$50.00	\$50.00
Itemized shrubs/bushes		\$12.00	\$
Total			\$100.00

The acceptance of the replacement certificate and the signature below is full acknowledgement by the property owner that this is a fair and reasonable compensation for plant materials removed during remediation activities, but not planted or installed by the government or it's contractors.

The total amount of \$100.00 has been received by the owner in the form of a replacement certificate, # 13914, to be utilized at Paulino's Gardens, 6300 N. Broadway, Denver, CO 80216.

Cecile Holford

Property Owner's Signature

Date

Marie Fowler Nov. 2, 04

Contrastor's Signature

Date

Property Completion Agreement

This agreement documents the completion of remedial activities performed on my property. My signature will designate that I am satisfied with the restoration of my property, and that no items are in questions, now, or at any time in the future, except those items listed below, if any.

Property ID:	2335
Property Address:	4644 High St.
Owner:	Cecile Holford
Phone:	

Restoration Items in Question:

Item:
Item:
Item:
Item:
Item:
Item:

Additional Comments:

--

- ☒ I agree restoration is completed, except as noted
- ☐ I do not agree restoration is completed
- ☐ I agree that the sprinkler system is working properly following reinstallation by contractor

Cecile Holford

Owner's Signature

Date

Marie Fowler Nov. 2, 04

Contractor's Signature

Date

Consent For Access To Property

RIGHT OF ENTRY TO PREMISES

Grantor (the property owner) consents to and authorizes the United States Environmental Protection Agency (EPA) or its authorized representatives, collectively the Grantee, to enter and perform certain environmental response activities upon the following described premises:

Owner's Name: Cecile Holford	Phone: 303-296-4450
--	-------------------------------

Addresses of Properties covered by this Agreement:	Address: 4644 High St
	Address:
	Address:
	Address:
	Address:

PURPOSE OF RESPONSE ACTIVITIES

The EPA is requesting access to collect soil samples and remove soil that contains elevated concentrations of arsenic and/or lead and may pose a health hazard. The soil will be removed and the excavated area(s) will be replaced with clean materials and restored. This work is being performed under the Vasquez Boulevard/I-70 Superfund Site remediation program.

An EPA representative will contact the Grantor in-person to discuss the work to be performed, the Grantor will have an opportunity to review and approve the planned soil removal, and restoration work before it begins. Once the work is finished, the Grantor will be asked to review the work and confirm that it is complete and meets with the Grantor's approval. Upon completion, the Grantor will receive written documentation from EPA that the property has been remediated.

ENVIRONMENTAL RESPONSE ACTIONS

By signing this Access Agreement, the Grantor is granting the EPA, its employees, contractors and subcontractors the right to enter the property, at all reasonable times and with prior notice, for the sole purpose of performing the work. This access shall remain in effect until the work has been satisfactorily completed. The Grantor also agrees to:

Consento para el Acceso de la Propiedad

DERECHO A ENTRAR LA PROPIEDAD

Otorgante (dueño(a) de propiedad) se da permiso y autoriza la Agencia para la Protección del Medio Ambiente de Los Estado Unidos (EPA) o su representantes autorizado, en conjunto el Cesionario, a entrar y llevar a cabo algunas actividades ambientales acerca de la propiedad descrito que sigue:

Dueño de la Propiedad: Cecile Holford	Numero Diario:
---	-----------------------

Dirección de Propiedades Cubierto por este Acuerdo:	Dirección: 4644 High St
	Dirección:
	Dirección:
	Dirección:
	Dirección:

PROPÓSITO DE ACTIVIDADES AMBIENTALES

El EPA solicita el acceso a coleccionar muestras de tierra y remover tierra que tiene alta concentraciones de arsénico y/o plomo que podría ser peligroso a su salud. La tierra estará removido y el(los) área(s) excavado(s) estará reemplazado con materiales limpias y restaurado. Este trabajo estará realizado abajo del Vasquez Boulevard/I-70 Superfund Site programa de remediación.

Un representante de EPA se contactará el Otorgante personalmente a discutir el trabajo estar realizado, el Otorgante tendrá la oportunidad a examinar y sancionar el plan de removimiento de tierra y el trabajo de restoración antes de comenzar. Cuando el trabajo se termina, el Otorgante estará pedido a revisar el trabajo, confirmar su terminación y cumplir con su aprobación. Después de terminación, el Otorgante recibirá un documento escrito por el EPA que indica la propiedad había sido remediado.

ACCIONES DE LA RESPONDENCIA AMBIENTAL.

Por su firma de este Acuerdo de Acceso, el Otorgante concede el EPA, sus empleos, contratadores y subcontratadores el derecho a entrar la propiedad, en tiempos razonable y sin noticia anterior, para el único propósito a realizar trabajo. Este acceso debería persistir en efecto hasta que el trabajo había sido terminado en un estado aceptado. El Ortorgante también está de acuerdo con:

- Remove obstructions including boats, trailers, vehicles, playscape items, wood piles, dog houses, etc;
- Remove flower bulbs or plants that the Grantor or the Grantor's tenant may wish to save;
- Water and maintain replacement vegetation, including fertilizer application, as necessary subsequent to an initial watering period by EPA, unless watering is restricted by Denver Water Board;
- Abide by health and safety guidance provided by EPA;
- If the property is rented, assist EPA in obtaining tenant approval for access to the property to perform the work if EPA is unable to obtain such access; and
- Allow videotaping and/or photography of the property including exterior and interior areas of buildings.

AGREEMENT NOT TO INTERFERE

The Grantor agrees not to interfere or tamper with any of the activities or work done, or the equipment used to perform the activities, or to undertake any actions regarding the use of said property which would tend to endanger the health or welfare of the Grantees or the environment, or to allow others to use the property in such a manner.

Should you have any questions about this program, please contact the VB/I-70 Command Center at (303) 487-0377.

☒ I grant access to my properties

☐ I do not grant access to my properties

Cecile Holford
Signature

4/30/04
Date

Signature

Date

☒ I would like to be present during any sampling that is required.

- Remover obstrucciones que incluye botes, remolque, vehículos, juguetes de niños, montones de madera, casas de perros, etc.
- Remover de bulbos de flores, o otras plantas que el Otorgante o inquilino del Otorgante quisiera guardar;
- Regar y mantener reemplazo de vegetación, incluso la aplicación de fertilizante, como es necesario subsecuente de la riega inicial por el EPA, a menos que regando está restringido por la Junta de Agua de Denver.
- Permanecer por la guía de Salud y Seguridad proveído por el EPA;
- Si la propiedad está rentado, asiste el EPA a obtener la aprobación del inquilino para acceso a la propiedad a llevar a cabo el trabajo, si el EPA está inhábil a obtener acceso; y
- Permitir a hacer un video y/o tomar fotos de la propiedad incluyendo los áreas exterior y interior de edificios.

ACUERDO A NO INTERFERIR

El Otorgante está de acuerdo a no interferir o meterse en cualquier actividades o trabajo hecho, o el equipo usado a llevar de cabo los actividades, o hacer cualquier acciones en respecto de la usa de dicho propiedad que podría arriesgar la salud o bienestar de los Cesionarios o el medio ambiente, o permitir otras personas a usar la propiedad en alguna manera.

Si tiene preguntas sobre este programa, por favor contacta, el centro de comando de VB/I-70 a (303) 487-0377.

☐ Si yo permito acceso a mi propiedad ☐ No permito acceso a mi propiedad.

Firma

Fecha

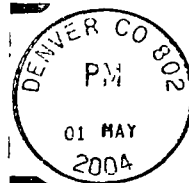
Firma

Fecha

☐ Me gustaría ser presente durante de cualquier colección de muestras.



Cecile V. Holford
4644 High St.
Denver, CO 80216-2817



VB/I-70 Command Post
10 E. 55th Avenue
Denver, CO 80216

80216+1769 11

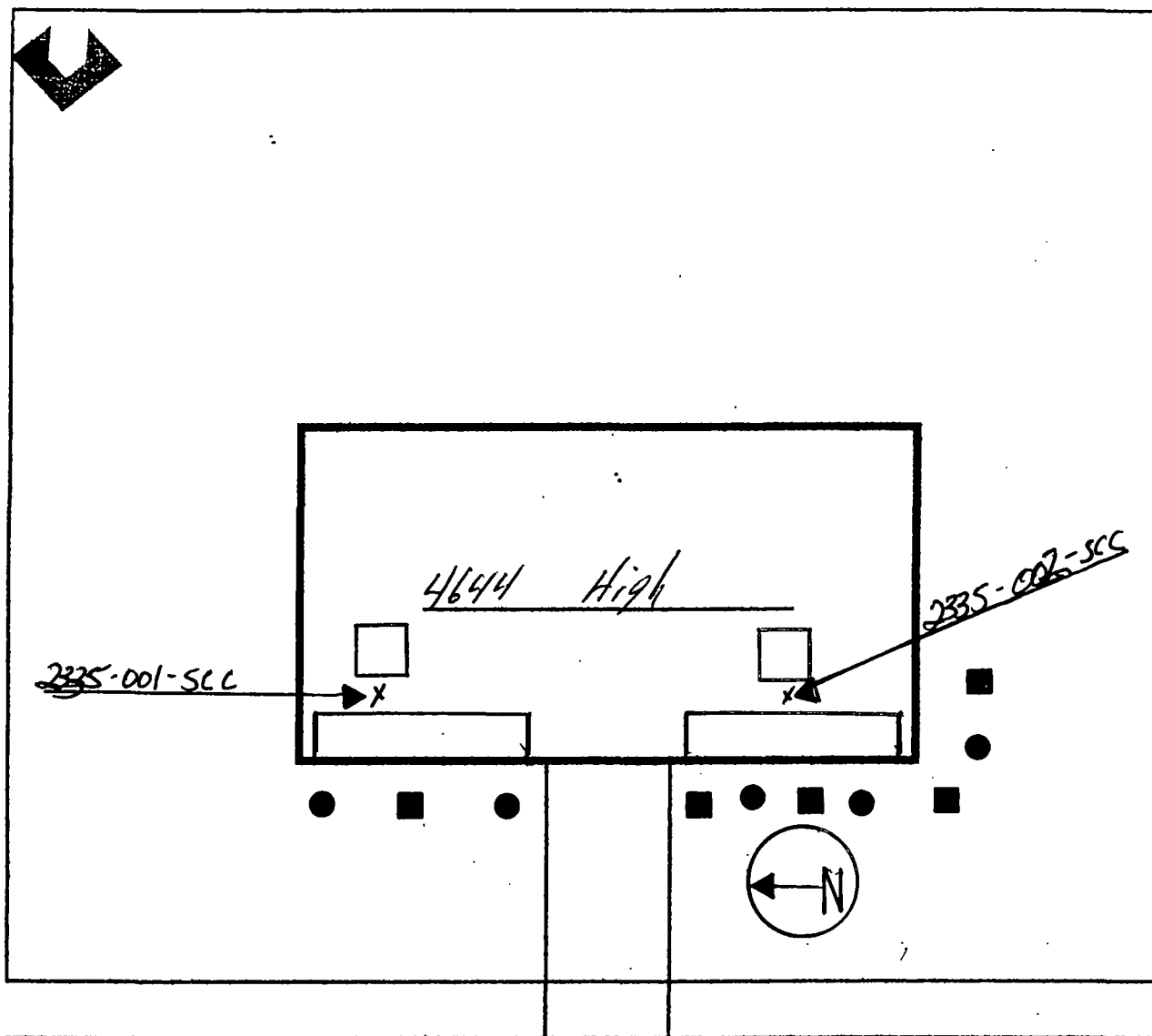


This spreadsheet performs screening level calculations to estimate the effect of peeling leaded paint on the average concentration of lead in yard soil
4644 High St.

INPUTS	Variable	Units	House	Garage
General	Mixing depth in yard	cm	2.54	2.54
	Mixing depth in yard	inches	1	1
	Soil density	g/cm3	2.5	2.5
	RBC in soil	mg/kg	400	400
	Bkg in clean fill	mg/kg	50	50
House-specific			Small	Small
	Area of the exposure unit	m2	84.727572	54.6269875
	Area of the exposure unit	ft2	912	588
	Concentration of lead in paint	mg/cm2	9.1	16
	Area of peeling paint	m2	2.4526403	2.65702694
	Area of peeling paint	ft2	26.4	28.6
COMPUTATIONS				
	Mass of lead from paint	mg	2.2E+05	4.3E+05
	Volume of soil	cm3	2.2E+06	1.4E+06
	Mass of soil	kg	5.4E+03	3.5E+03
	Incremental concentration	mg/kg	41.5	122.6
	Maximum acceptable area of peeling leaded paint (m2)		20.7	7.6
	Maximum acceptable area of peeling leaded paint (ft2)		222.7	81.6
DECISION			OK	OK

2 NA

2335



- 1) 2335-001-DWC 14:25 Hours 04-26-06
- 2) 2335-002-DWC 14:35 Hours 04-26-06
- 3) 2335-001-SCL ● 14:50 Hours 04-26-06 Front Porch
- 4) 2335-002-SCL ■ 15:00 Hours 04-26-06 Front Porch
- 5)
- 6)

2
53
50

Evergreen Analytical, Inc.

4036 Youngfield Street, Wheat Ridge, Colorado 80033-3862
(303) 425-6021

Client Sample ID: 2335-001-DWC
Client Project ID: 213001.01
Date Collected: 4/26/06
Date Received: 4/26/06

Lab Work Order: 06-2670
Lab Sample ID: 06-2670-09
Sample Matrix: Wipe

METALS

Method: SW6010

Prep Method: SW6010

Date Prepared: 4/27/06
Date Analyzed: 4/29/06

Lab File ID: 042806PM
Method Blank: MB-9791

Dilution Factor: 1
Lab Fraction ID: 06-2670-09A

Analytes	CAS Number	Result	LQL	Units
Lead	7439-92-1	53	4.0	µg/WIPE

MB

Analyst

CAW

Approved

Qualifiers: B - Analyte detected in the associated Method Blank, value not subtracted from result
E - Extrapolated value. Value exceeds calibration range
H - Sample analysis exceeded analytical holding time
J - Indicates an estimated value when the compound is detected, but is below the LQL
S - Spike Recovery outside accepted limits
U - Compound analyzed for but not detected
X - See case narrative
* - Value exceeded the Maximum Contamination Level (MCL), TCLP limit, or if compound is undetected, LQL exceeds MCL.

Definitions: NA - Not Applicable
LQL - Lower Quantitation Limit
Surr - Surrogate

Print Date: 5/4/06

Evergreen Analytical, Inc.

4036 Youngfield Street, Wheat Ridge, Colorado 80033-3862
(303) 425-6021

Client Sample ID: 2335-002-DWC
Client Project ID: 213001.01
Date Collected: 4/26/06
Date Received: 4/26/06

Lab Work Order: 06-2670
Lab Sample ID: 06-2670-10
Sample Matrix: Wipe

METALS

Method: SW6010

Prep Method: SW6010

Date Prepared: 4/27/06
Date Analyzed: 4/29/06

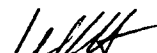
Lab File ID: 042806PM
Method Blank: MB-9791

Dilution Factor: 1
Lab Fraction ID: 06-2670-10A

Analytes	CAS Number	Result	LQL	Units
Lead	7439-92-1	12	4.0	µg/WIPE

MB

Analyst



Approved

Qualifiers: B - Analyte detected in the associated Method Blank, value not subtracted from result
E - Extrapolated value. Value exceeds calibration range
H - Sample analysis exceeded analytical holding time
J - Indicates an estimated value when the compound is detected, but is below the LQL
S - Spike Recovery outside accepted limits
U - Compound analyzed for but not detected
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Definitions: NA - Not Applicable
LQL - Lower Quantitation Limit
Surr - Surrogate

Print Date: 5/4/06

Evergreen Analytical, Inc.

4036 Youngfield Street, Wheat Ridge, Colorado 80033-3862
(303) 425-6021

Client Sample ID: 2335-001-SCC
Client Project ID: 213001.01
Date Collected: 4/26/06
Date Received: 4/26/06

Lab Work Order 06-2670
Lab Sample ID: 06-2670-11
Sample Matrix: Soil

METALS

Method: SW6010

Prep Method: SW3050

Date Prepared: 5/1/06
Date Analyzed: 5/5/06

Lab File ID: 050506PM
Method Blank: MB-9814

Dilution Factor: 1
Lab Fraction ID: 06-2670-11A

Analytes	CAS Number	Result	LQL	Units
Lead	7439-92-1	19	6.0	mg/Kg

MB

Analyst

WHA

Approved

Qualifiers: B - Analyte detected in the associated Method Blank, value not subtracted from result
E - Extrapolated value. Value exceeds calibration range
H - Sample analysis exceeded analytical holding time
J - Indicates an estimated value when the compound is detected, but is below the LQL
S - Spike Recovery outside accepted limits
U - Compound analyzed for but not detected
X - See case narrative
* - Value exceeded the Maximum Contamination Level (MCL), TCLP limit, or if compound is undetected, LQL exceeds MCL.

Definitions: NA - Not Applicable
LQL - Lower Quantitation Limit
Surr - Surrogate

Print Date: 5/8/2006

Evergreen Analytical, Inc.

4036 Youngfield Street, Wheat Ridge, Colorado 80033-3862
(303) 425-6021

Client Sample ID: 2335-002-SCC
Client Project ID: 213001.01
Date Collected: 4/26/06
Date Received: 4/26/06

Lab Work Order 06-2670
Lab Sample ID: 06-2670-12
Sample Matrix: Soil

METALS

Method: SW6010

Prep Method: SW3050

Date Prepared: 5/1/06
Date Analyzed: 5/5/06

Lab File ID: 050506PM
Method Blank: MB-9814

Dilution Factor: 1
Lab Fraction ID: 06-2670-12A

Analytes	CAS Number	Result	LQL	Units
Lead	7439-92-1	18	5.8	mg/Kg

MB

Analyst

[Signature]

Approved

Qualifiers: B - Analyte detected in the associated Method Blank, value not subtracted from result
E - Extrapolated value. Value exceeds calibration range
H - Sample analysis exceeded analytical holding time
J - Indicates an estimated value when the compound is detected, but is below the LQL
S - Spike Recovery outside accepted limits
U - Compound analyzed for but not detected
X - See case narrative
* - Value exceeded the Maximum Contamination Level (MCL), TCLP limit, or if compound is undetected, LQL exceeds MCL.

Definitions: NA - Not Applicable
LQL - Lower Quantitation Limit
Surr - Surrogate

Print Date: 5/8/2006

This spreadsheet performs screening level calculations to estimate the effect of peeling leaded paint on the average concentration of lead in yard soil
4644 High St.

INPUTS			House	Garage
General	Variable	Units		
	Mixing depth in yard	cm	2.54	2.54
	Mixing depth in yard	inches	1	1
	Soil density	g/cm3	2.5	2.5
	RBC in soil	mg/kg	400	400
	Bkg in clean fill	mg/kg	50	50
House-specific			Small	Small
	Area of the exposure unit	m2	84.72757	54.626988
	Area of the exposure unit	ft2	912	588
	Concentration of lead in paint	mg/cm2	9.1	16
	Area of peeling paint	m2	10.42272	11.29128 2.657
	Area of peeling paint	ft2	26.4	28.6
COMPUTATIONS				
	Mass of lead from paint	mg	9.5E+05	1.8E+06
	Volume of soil	cm3	2.2E+06	1.4E+06
	Mass of soil	kg	5.4E+03	3.5E+03
	Incremental concentration	mg/kg	176.3	520.8
	Maximum acceptable area of peeling leaded paint (m2)		20.7	.76
	Maximum acceptable area of peeling leaded paint (ft2)		222.7	81.6
DECISION			OK	Not OK

Address: 4644 High St

Date: 7/26/2005

Owner: Cecile Holford

Telephone #: (303) 296-4450

Plot Plan:

see attached

Team 3 - Ed

North South East West	Exterior Walls				Doors/Trim			
	Material	deteriorated Area	Peel/Chip	XRF (Lead)	Material	deteriorated Area	Peel/Chip	XRF (Lead)
	Total				Total			
North South East West	Window Trim/Fascia/Soffit				Patios/Decks/Porches			
	Material	deteriorated Area	Peel/Chip	XRF (Lead)	Material	deteriorated Area	Peel/Chip	XRF (Lead)
					wood	26.4	-	9.1+-2.8
	Total				Total	26.4		
North South East West	Shed				Garage			
	Material	deteriorated Area	Peel/Chip	XRF (Lead)	Material	deteriorated Area	Peel/Chip	XRF (Lead)
	wood	45.2		2.9+-1.2				
	wood	90.4		2.9+-1.2	wood	18.5		0.7+-0.3
	wood	9		2.9+-1.2				
	wood	18.1		2.9+-1.2	wood	10.1	-	16+-7.2
	Total	162.7			Total	28.6		

659 sq ft

4-20-06

Address: 4644 High
Date: 7/26/2005

Investigator
Time Started

WH and CM
9:00:00 AM

House	Garage	Shed
1	1	1
2	1	1
3	1	1
4	1	1
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100	1	1

North	South	East	West front
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[illegible]

Address: 4644 High
Date: 7/26/2005

Investigator
Time Started

WH and CM
9:00:00 AM

House	Garage	Shed
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North	South	East	West
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[illegible]

Address: 4644 High
Date: 7/26/2005

Investigator
Time Started

WH and CM
9:00:00 AM

House	Garage	Shed
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North	South	East	West
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[illegible]

Address: 4644 High
Date: 7/26/2005

Investigator
Time Started

WH and CM
9:00:00 AM

House	Garage	Shed
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North	South	East	West
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[illegible]

Address: 4644 High
Date: 7/26/2005

Investigator
Time Started

WH and CM
9:00:00 AM

House	Garage	Shed
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North	South	East	West
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[illegible]

[illegible]

Color Photo(s)

The following pages
contain color that does
not appear in the
scanned images.

To view the actual images, contact
the Region VIII Records Center at
(303) 312-6473.

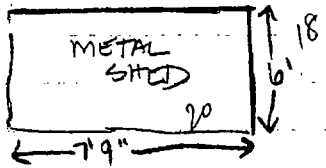
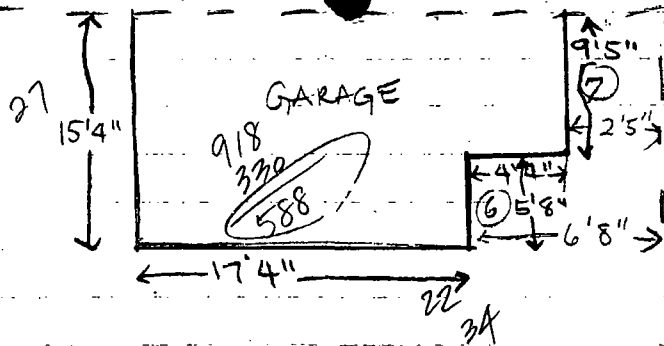
photo 2



photo 1



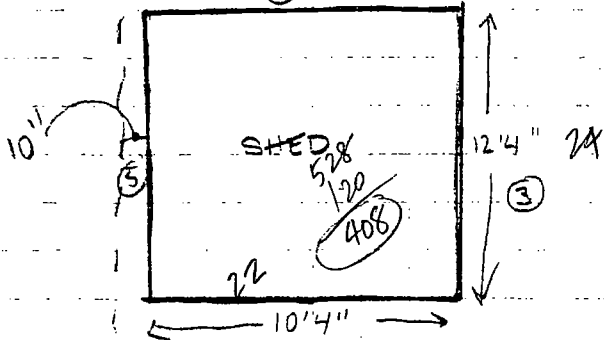
photo 3



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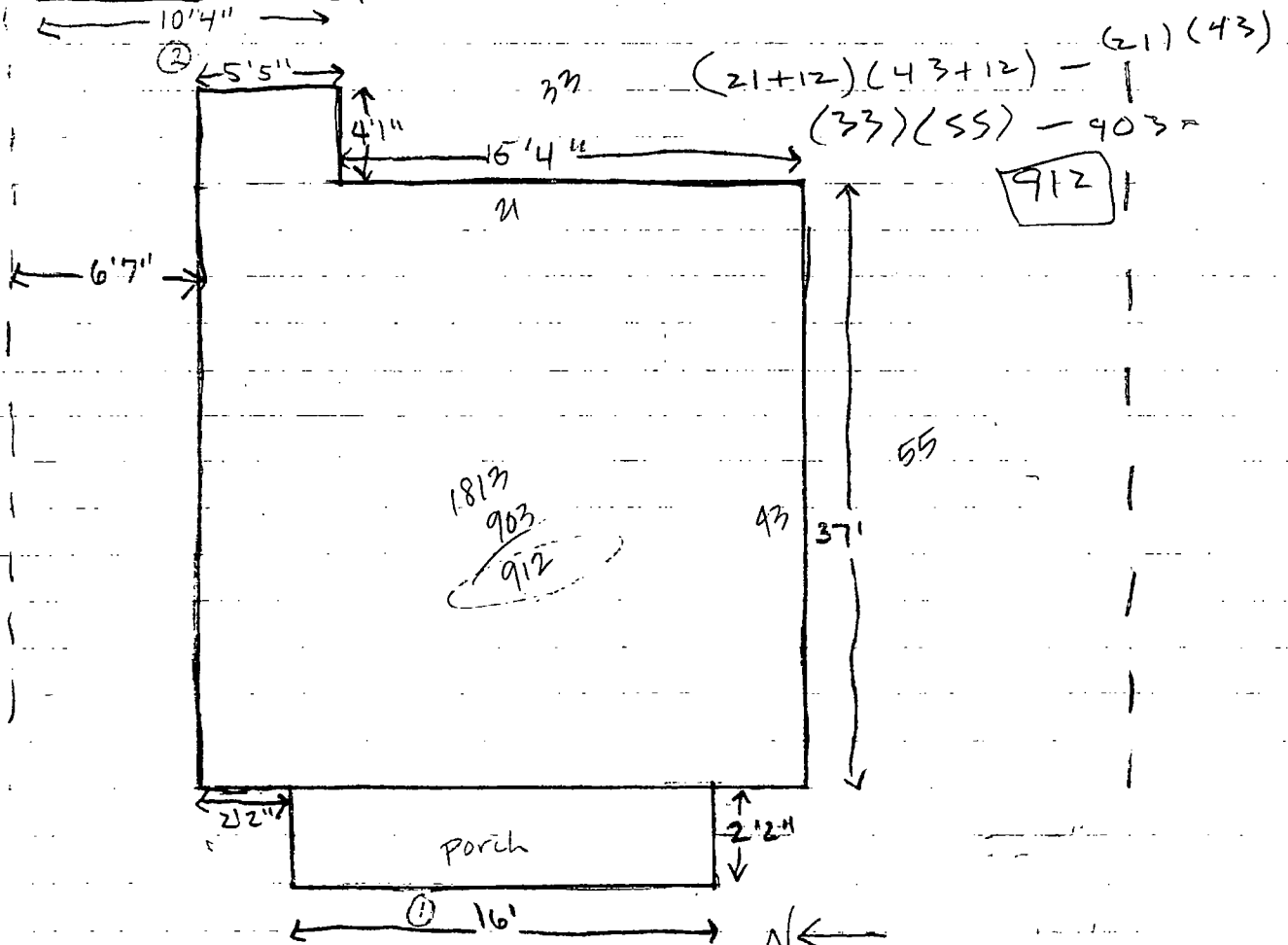
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588



$$(22)(24) - 120$$

408



$$(21+12)(43+12) - (21)(43)$$

$$(33)(55) - 903$$

912

4644 High St

(#1335)

Address: 4644 High St

Date: 7/26/2005

Owner: Cecile

Holford

Telephone #: (303) 296-4450

Plot Plan:

see attached

North
South
East
West

Exterior Walls				Doors/Trim			
Material	deteriorated Area	Peel/Chip	XRF (Lead)	Material	deteriorated Area	Peel/Chip	XRF (Lead)
Total				Total			

North
South
East
West

Window Trim/Fascia/Soffit				Patios/Decks/Porches			
Material	deteriorated Area	Peel/Chip	XRF (Lead)	Material	deteriorated Area	Peel/Chip	XRF (Lead)
				wood	26.4	-	9.1+-2.8
Total				Total 26.4			

North
South
East
West

Shed				Garage			
Material	deteriorated Area	Peel/Chip	XRF (Lead)	Material	deteriorated Area	Peel/Chip	XRF (Lead)
wood	45.2		2.9+-1.2				
wood	90.4		2.9+-1.2	wood	18.5		0.7+-0.3
wood	9		2.9+-1.2				
wood	18.1		2.9+-1.2	wood	10.1	-	16+-7.2
Total 162.7				Total 28.655			

Address: 4644 High
Date: 7/26/2005

Investigator
Time Started

WH and CM
9:00:00 AM

House	Garage	Shed
1	1	1
2	1	1
3	1	1
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North	South	East	West front
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[illegible]

Address: 4644 High
Date: 7/26/2005

Investigator
Time Started

WH and CM
9:00:00 AM

House	Garage	Shed
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North	South	East	West
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[illegible]

Address: 4644 High
Date: 7/26/2005

Investigator
Time Started

WH and CM
9:00:00 AM

House	Garage	Shed
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North	South	East	West
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[illegible]

Address: 4644 High
Date: 7/26/2005

Investigator
Time Started

WH and CM
9:00:00 AM

House	Garage	Shed
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North	South	East	West
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[illegible]

Address: 4644 High
Date: 7/26/2005

Investigator
Time Started

WH and CM
9:00:00 AM

House	Garage	Shed
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North	South	East	West
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[illegible]

Address: 4644 High
Date: 7/26/2005

Investigator
Time Started

WH and CM
9:00:00 AM

House	Garage	Shed
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North South East West

[illegible]

TARGET SHEET
EPA REGION VIII
SUPERFUND DOCUMENT MANAGEMENT SYSTEM

DOCUMENT NUMBER: 1051764

SITE NAME: VASQUEZ BOULEVARD AND I-70

DOCUMENT DATE: 04/30/2004

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